

**OLD BEGA HOSPITAL**  
**DESCRIPTION OF STAGE 1 WORKS**

**27.07.2018**

## **Outline of Stage 1 Works: Old Bega Hospital**

### **Overarching Grounds/ Landscaping**

1. No works to existing ring road- leave car access as is.
2. No additional disabled parking at Nurses' Quarters - keep existing single space.
3. Maintain current access path into SW corner of main building.
4. Make good access outside the SW toilets onto S veranda outside existing disabled toilet.
5. No bus drop-off zone, no additional large carpark space in the northern paddock.
6. No works to northern paddock.
7. Demolish existing tool shed at south of main building.
8. Install new tool shed in south east corner (with associated levelling and driveway).
9. Close off exposed well tops to make them safe.
10. Leave existing garden beds outside the north face of the main building.
11. Install some areas of 'boutique' carpark as shown on the landscape plan (we will have to show that we are installing some additional car parking).
12. No removal of the row of trees between the north and south paddock.
13. No works to Nurses Quarters, Potters or Weavers buildings.

### **General - Main Building**

14. All external masonry walls to be made good (from a structural point of view as per engineers direction – removal of paint or aesthetic changes to brickwork not necessary).
15. New subfloor framing throughout where required by engineer and new hardwood timber floors throughout (except for community kitchen, commercial kitchen and food stores, bathrooms and toilets).
16. New roof framing and roofing throughout –(see engineering feedback for existing roofs).
17. Plasterboard ceilings throughout
18. Leave fire damaged walls throughout areas shown on wall Zone 1 legend (see appendix 1) – builders to secure or remove any dangerous or loose areas of plaster.
19. Repair all damaged windows and timber window frames where necessary.
20. New electrical, power and light fittings throughout.
21. Leave SW access open as per the existing condition
22. Security system, including door locking (with master key and subsidiaries, suitable for emergency egress) and electronic surveillance (presumably back to base with motion and intrusion sensors, and divided into various sectors, and expandable to include the outbuildings).

### **G1.1 – Northern Verandas**

23. Keep northern structure and roof verandas as is- with minor repairs required to ensure the structure is safe (pending feedback from engineer).
24. Retain Timber floors and existing sub-floor (pending engineers feedback).
25. Retain existing roof and walls (pending engineers feedback).
26. Make good and repatch external veranda walls. (pending engineers feedback).

### **G1.2 Gift shop Reception**

27. Retain and make good existing tiled flooring
28. All timber windows and glazing to be repaired.
29. Walls to be re-patched and painted.
30. Fireplace to be retained but blocked.
31. Plasterboard ceiling –4260 mm high
32. Allowance for 1 x joinery unit- reception desk

### **G1.3 Meeting Room**

33. Retain Timber floors and existing sub-floor (pending engineers feedback).
34. Patch walls as necessary – leave exposed
35. All timber windows and glazing to be repaired or restored.
36. Plasterboard ceiling – 4260 mm high
37. No Allowance for joinery

### **G1.4 Multipurpose 1**

38. New Subfloor throughout (pending engineers feedback).
39. New vinyl flooring.
40. Patch walls as necessary – leave exposed.
41. All timber windows and glazing to be repaired or restored.
42. Plasterboard ceiling –4260 mm high
43. Fireplace to be retained but blocked.

### **G1.6 Toilets**

44. Make good existing disused toilet.
45. Make good existing disused bathroom and install toilet.
46. New plasterboard ceiling.-2800mm high
47. Make good existing wall tiling throughout.
48. New fittings and fixtures.

### **G1.7 Accessible Toilets**

49. No works to existing accessible toilet

### **G1.8 Southern Veranda**

50. Repair and make good Southern veranda (keep existing veranda roof if structural engineer permits and build new extension over veranda where no roof currently exists).
51. New subfloor where required (pending engineers feedback).
52. Keep part of existing timber boards flooring where possible.
53. New timber boards to veranda to extent shown on floor plan.
54. External roofing sheeting only- no ceiling.

### **G1.9 Hallway**

55. New sub-floor framing throughout.
56. New timber flooring.
57. Plasterboard ceiling –4260 mm high
58. Stabilise walls as necessary – leave exposed.
59. No additional restoration work to arches.

#### **G1.10, G1.12 & G1.13 Café tenancy rooms**

60. New sub-floor framing throughout.
61. New timber flooring.
62. Plasterboard ceiling –4260 mm high
63. Stabilise walls as necessary – leave exposed.
64. No allowance for furniture or joinery – café leasee to provide all loose fittings and fixtures.
65. All timber windows and glazing to be repaired or restored.

#### **G1.12 Café Tenancy – Commercial Kitchen**

66. New sub-floor framing throughout.
67. New vinyl flooring.
68. Battened walls with new washable lining.
69. New plasterboard ceiling throughout with range hood.
70. Block up openings with masonry, and provide new doorway as shown on the plans.
71. No allowance for commercial kitchen equipment & no joinery to commercial kitchen- provision for adequate gas, water & electrical connection.
72. Wall shelving provided to dry store.
73. All timber windows and glazing to be repaired or restored.

#### **G1.14 Multipurpose 4**

74. New sub-floor framing throughout. (pending engineers feedback).
75. New timber flooring.
76. Plasterboard ceiling –4260 mm high
77. Stabilise walls as necessary – leave exposed.
78. Fireplace to be retained but blocked.
79. All timber windows and glazing to be repaired or restored.

#### **G1.15 Community Kitchen**

80. New vinyl flooring to Multi- purpose room 1 (Men's ward), commercial kitchen and community kitchen
81. New sub-floor framing throughout.
82. New vinyl flooring.
83. Battened walls with new washable lining.
84. Plasterboard ceiling –4260 mm high
85. Block up openings with masonry, and provide new doorway as shown on the plans.
86. Allowance for commercial kitchen equipment:
  - Combi Oven
  - 2 of Gas Burners (4 x burners for each)
  - Dishwasher
  - Range hood
87. Stainless Steel joinery bench – around equipment with laminate cupboards under.
88. Provision for adequate instantaneous hot water system.

#### **G1.16 Multipurpose 2**

89. New sub-floor framing throughout.
90. New timber flooring.
91. Plasterboard ceiling –4260 mm high

- 92. Stabilise walls as necessary – leave exposed.
- 93. Fireplace to be retained but blocked.
- 94. All timber windows/doors and glazing to be replaced or restored.

**G1.18- 21 Gallery**

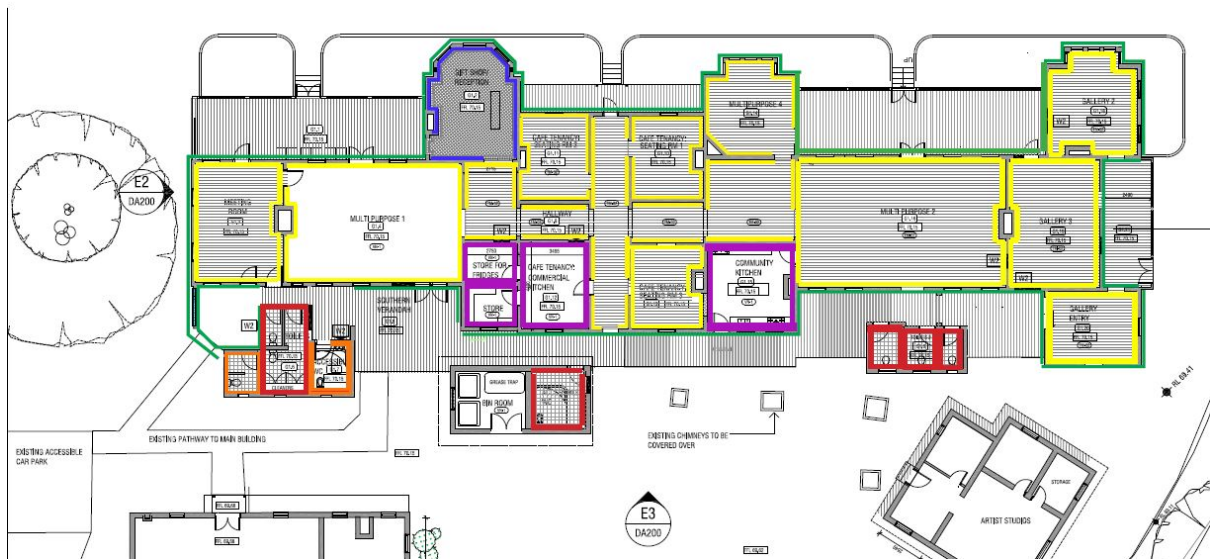
- 95. New sub-floor framing throughout.
- 96. New timber flooring.
- 97. Plasterboard ceiling –4260 mm high
- 98. Fireplace to be retained but blocked.
- 99. All timber windows/doors and glazing to be replaced or restored.
- 100. Stabilise walls as necessary – leave exposed.

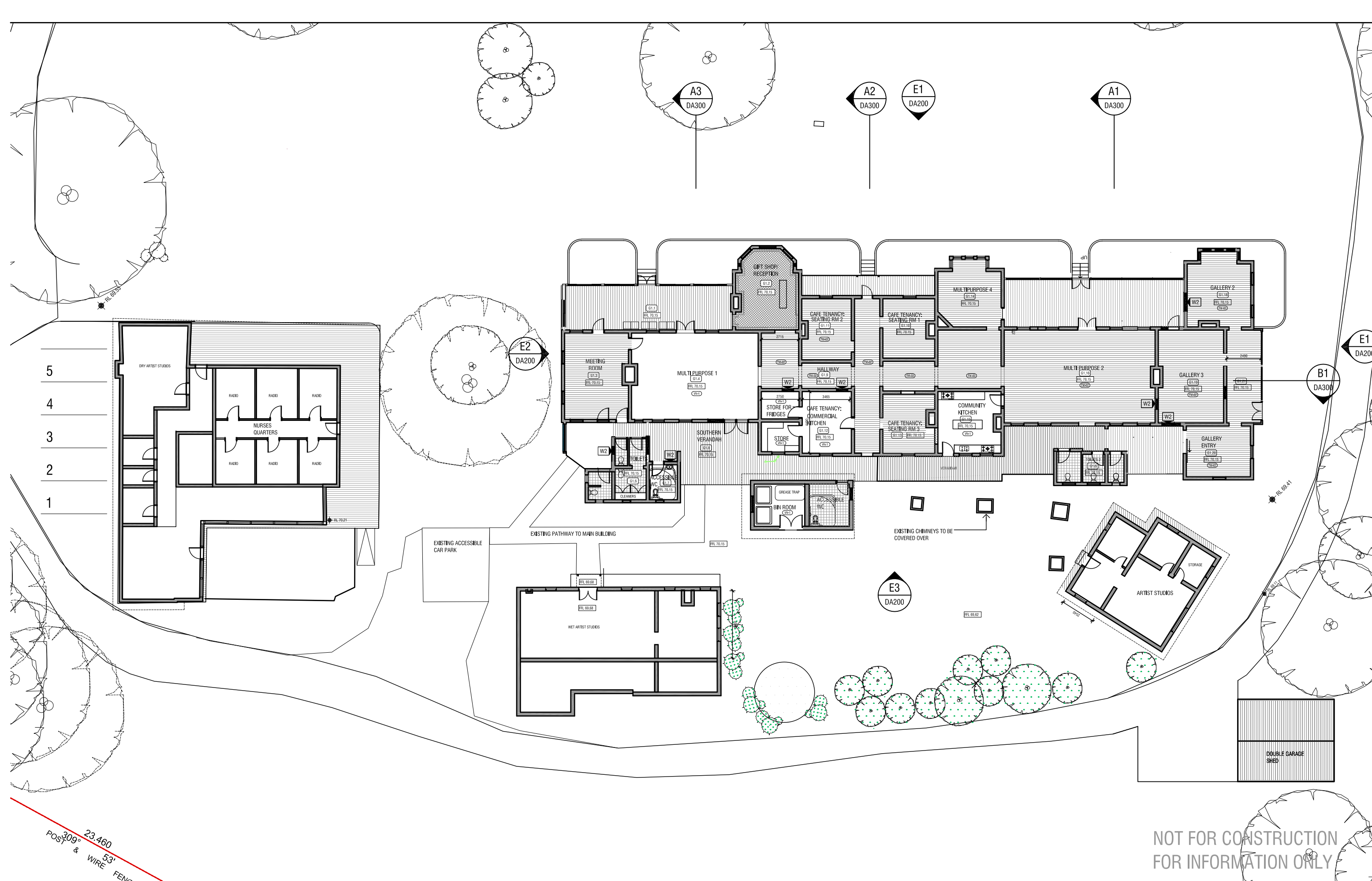
make good and fit out bin room in W part of Morgue, with new door  
 11. fit new disabled toilet in E part of Morgue

**Appendix 1**

**STAGE 1 WALL TREATMENTS**

- |  |  |                         |  |
|--|--|-------------------------|--|
| ZONE 1: STABILIZE AND KEEP             |  | ZONE 4: RESTORE BRICK   |  |
| ZONE 2: NO WORKS                       |  | ZONE 5: REPAINT         |  |
| ZONE 3: RE-BATTEN & INSTALL NEW LINING |  | ZONE 6: RE-TILE & PAINT |  |





NOT FOR CONSTRUCTION  
FOR INFORMATION ONLY

